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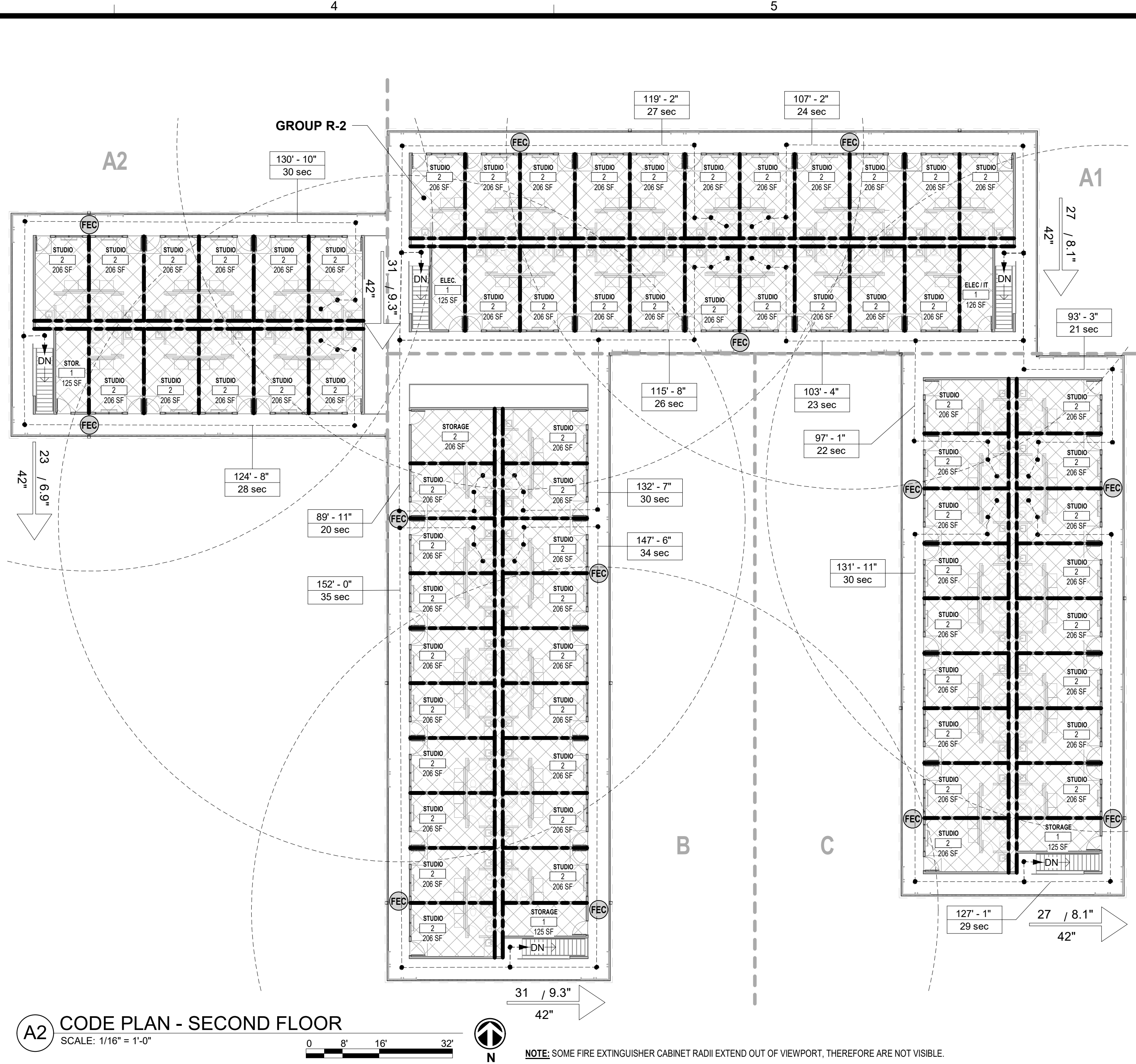
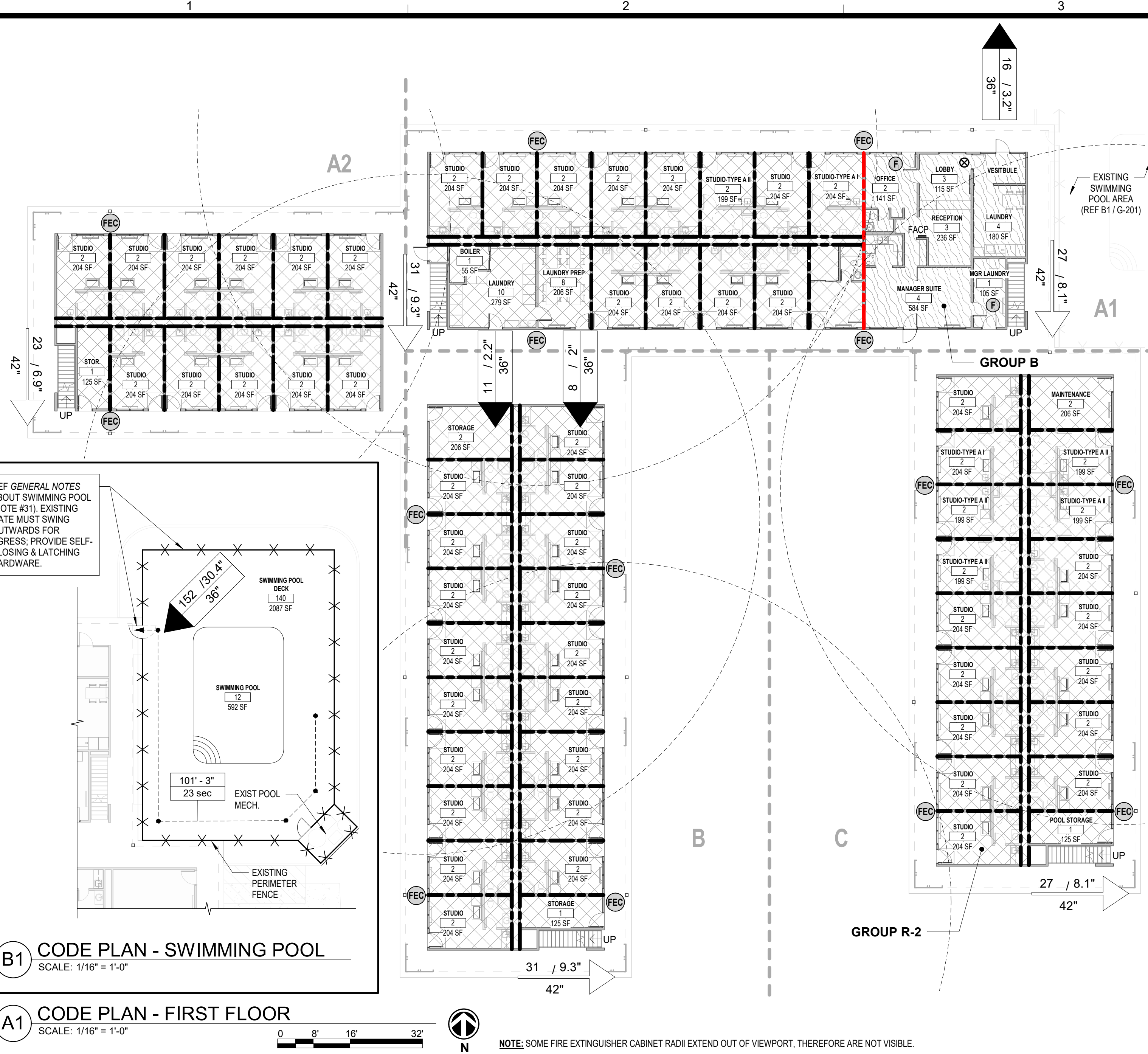
SUBMISSION DATES  
 JULY 01, 2022  
 REV-1 JULY 28, 2022

**REMODEL FOR REPUBLIC:  
 PLATO'S RENO, NV - STARDUST**  
 1400 STARDUST STREET, RENO, NV 89503

PROJECT NUMBER  
**220116**

SHEET TITLE  
 CODE PLAN

SHEET NUMBER  
**G-201**



**GENERAL**

**Project Scope / Summary:**  
 Renovation of an existing 2-story motel with 123 units; converting from occupancy group R-1 into R-2 Residential. Proposed renovation upgrades will include new exterior and interior paint, adding partial kitchens to each unit, and expanding laundry facilities for tenant use. Minor site improvements to seal and restripe parking lot and add additional parking stalls in lieu of the existing oversized ones on the south west side; existing swimming pool and landscaping to remain.

The current building is constructed of a combustible construction types meeting the intent of the 2018 IBC's definition of Type V-A all wood construction (existing, non-conforming) have been noted. Please see the Code Narrative and Building Code Information Matrix for additional information on original construction types of various locations. There shall be no building separation but there will be an occupancy separation between the new R-2 occupancy group and new B occupancy. While the existing Building meets the intent of Type V-A construction, it is an existing, non-conforming building without sprinklers.

Property Name & Physical Address:	Plato's, Reno, Nevada - Stardust 1400 Stardust Street Reno, Nevada 89503
Project Construction:	Proposed R-1 Motel Conversion into R-2 Multifamily Apartment Housing
Code References - Washoe County:	2018 International Building Code (IBC) 2018 International Existing Building Code (IEBC) 2018 International Energy Conservation Code (IECC) 2018 Uniform Plumbing Code (UPC) 2018 International Mechanical Code (IMC) 2018 International Fuel Gas Code (IFGC) 2018 International Swimming Pool and Spa Code (ISPS) 2018 National Fire Protection Agency (NFPA) [With exceptions - as approved by Building Code Official] 2017 National Electric Code (NEC)
Occupancy Group and Type:	Existing separated, mixed use occupancy buildings containing Occupancy Groups R-1, and B. Proposed Occupancy change to Group R-2.

\*Note: The following information applies only to the Proposed Renovation of Plato's Reno, Nevada - Stardust

CONSTRUCTION & FIRE RATINGS	
Construction Type:	Type V-A
Max Allowable Stories, Height, Area:	Table 504.3, 504.4* and 504.2*
Actual Stories, Height, Area:	2 Story, 22 feet, 46,552 SF (Exception - as approved by Building Code Official).
Fire Resistance Rating Requirements:	Table 601, 601(1) and 602 1 HR structural frame / bearing walls and 1 HR roof construction
Building Separation:	Table 506.2 Not applicable - No separation required.
Occupancy Separation:	Section 508.3, 508.2.3 & Table 508.4, 509 1 Hour Separation between each dwelling unit and a 2 Hour Separation between dwelling units and Group B
PASSIVE FIRE SAFETY SYSTEMS	
Interior Finishes:	Table 803.1.1 and 803.11 Class B finishes required at exits and corridors. Class C finishes required in enclosed rooms - provided.
Accessory Separations:	Table 508.2 Not applicable - No separation required.
Corridor Ratings:	Table 1020.1 Not permitted (as approved by building code official).
ACTIVE FIRE SAFETY SYSTEMS	
Automatic Sprinkler Systems:	Table 903.2 Required for Group R-2 with fire area ≥ 12,000 SF - Not permitted (Exception - as approved by Building Code Official).
Portable Fire Extinguishers:	Table 906.1 Required per IFC and NFPA 10 - provided
Automatic Smoke Detection:	Section 907.2.9 & 907.2.10.7 R-2 fire and smoke alarms shall be installed if not compliant - Verify in field
MEANS OF EGRESS	
Occupant Load:	Table 1004.1.2 Maximum Floor Area Per Occupant (SF - Square Feet) Residential (Primary Function) 200 Gross SF Per Occupant Business 150 Gross SF Per Occupant Accessory storage areas 300 Gross SF Per Occupant
Exits:	Table 1006.2.1 One exits required for Group R-2 with ≥ 20 occupants - provided
Exits Access Travel Distance:	Table 1017.2 Travel distance not to exceed 200 feet without sprinklers - provided Inches Required Per Occupant, without Sprinklers
Egress Width:	Section 1005.3.1 and 1005.3.2 Stairways 0.3 inches per occupant Doors and other egress components 0.2 inches per occupant

Accessible Apartment Units:	Section 1107.6.2.2.1 At least 2% of all total units, but not less than 1, shall be "Type A" accessible units. ("Type B" units are not required based on provisions of the International Existing Building Code).  Total Apartment Unit Quantity 123 Type A Accessible Units Required (2%) 3 Type A Accessible Units Provided 7 (Compliant) Unit #s: 101, 103, 144, 145, 146, 157, 158
Accessible Parking:	Section 1106.2 & 1106.5 At least 2%, but not less than 1 of each type of parking space provided shall be accessible.  Total Parking Stall Quantity 111 Total Accessible Stalls Required (2%) 3 Total Accessible Stalls Provided 7 (Compliant)  For every 6 or fraction of 6 accessible parking spaces, at least 1 shall be a van-accessible parking space.  Total Accessible Stalls Provided 7 Accessible Van Stalls Required 1 (Compliant) Accessible Van Stalls Provided 1 (Compliant)
Unit Density Bonus	Reno Municipal Code (RMC) - 18.04.1002(b)(3) *In accordance with Reno Municipal Code (RMC) 18.04.1002(b)(3) a density bonus has been applied to the project. The General Commercial Zoning allows for up to 45 dwelling units per acre. The 1.96 acre site allows for up to 88 dwelling units. The proposed 123 units is a 40% increase from the maximum allowed density and is allowed by-right, per the density bonus section of RMC 18.04.905(b)(3).

**CODE PLAN KEY**

**OCCUPANCY GROUP TYPE HATCHES**

(R-2) RESIDENTIAL

(B) BUSINESS

**CODE PLAN LEGEND**

--- 1- HR FIRE PARTITION  
 --- 2- HR FIRE PARTITION  
 --- FIRE EXTINGUISHER RADIUS (75-0)  
 (FEC) FIRE EXTINGUISHER CABINET; EXISTING (SHOWN WITH 75" RADIUS)  
 (F) FIRE EXTINGUISHER; EXISTING  
 (E) EMERGENCY EXIT LIGHT

**EGRESS LOAD TAGS**

DOOR / OPENING  
 1200 / 24"  
 34"

STAIR  
 600 / 48"  
 36"

OCCUPANT LOAD / EGRESS WIDTH REQ'D  
 EGRESS WIDTH PROVIDED

**CODE PLAN ROOM TAG**

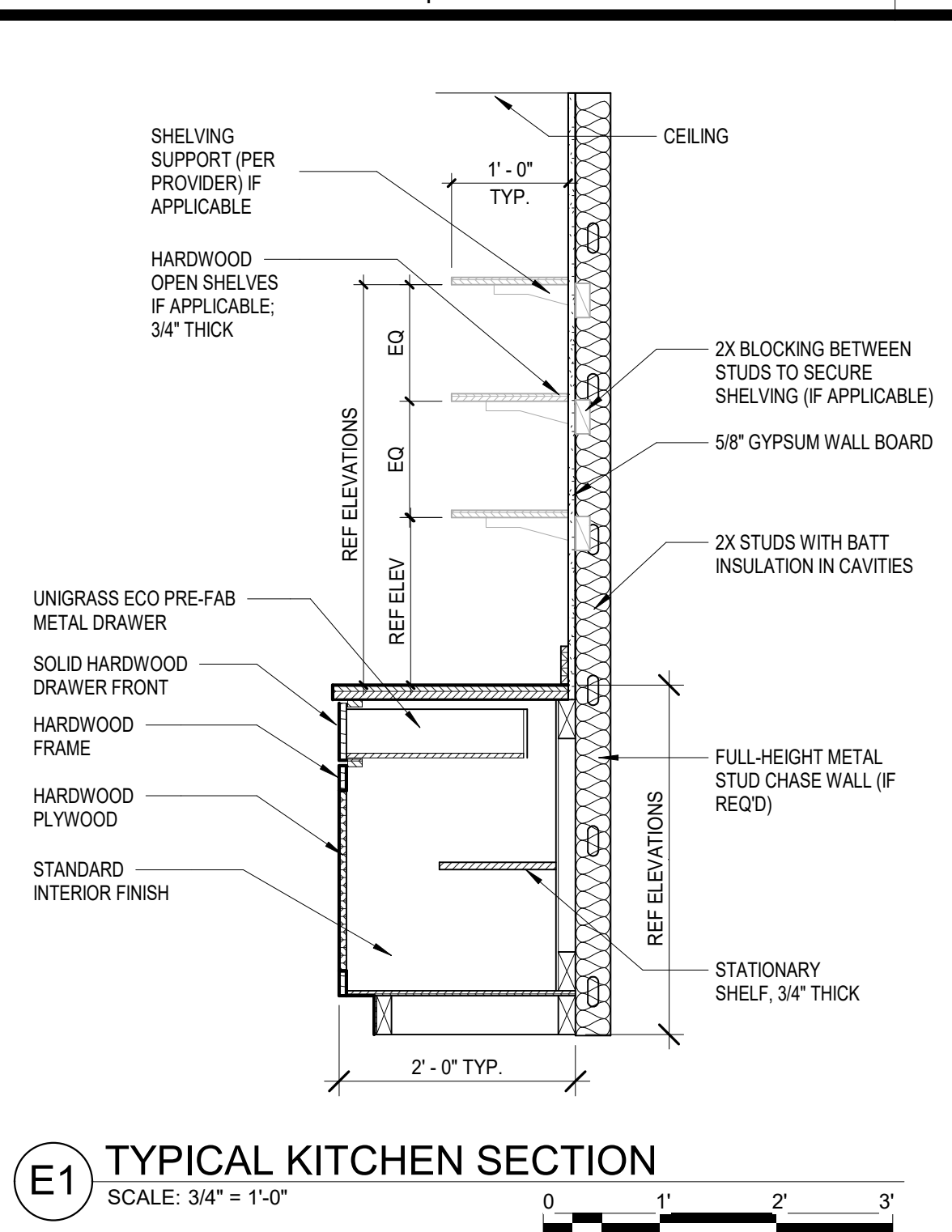
ROOM NAME  
 OCCUPANCY LOAD  
 ROOM AREA (SQUARE FEET)

**COMMON PATH OF TRAVEL (NON-SPRINKLERED UP TO 200'-0")**

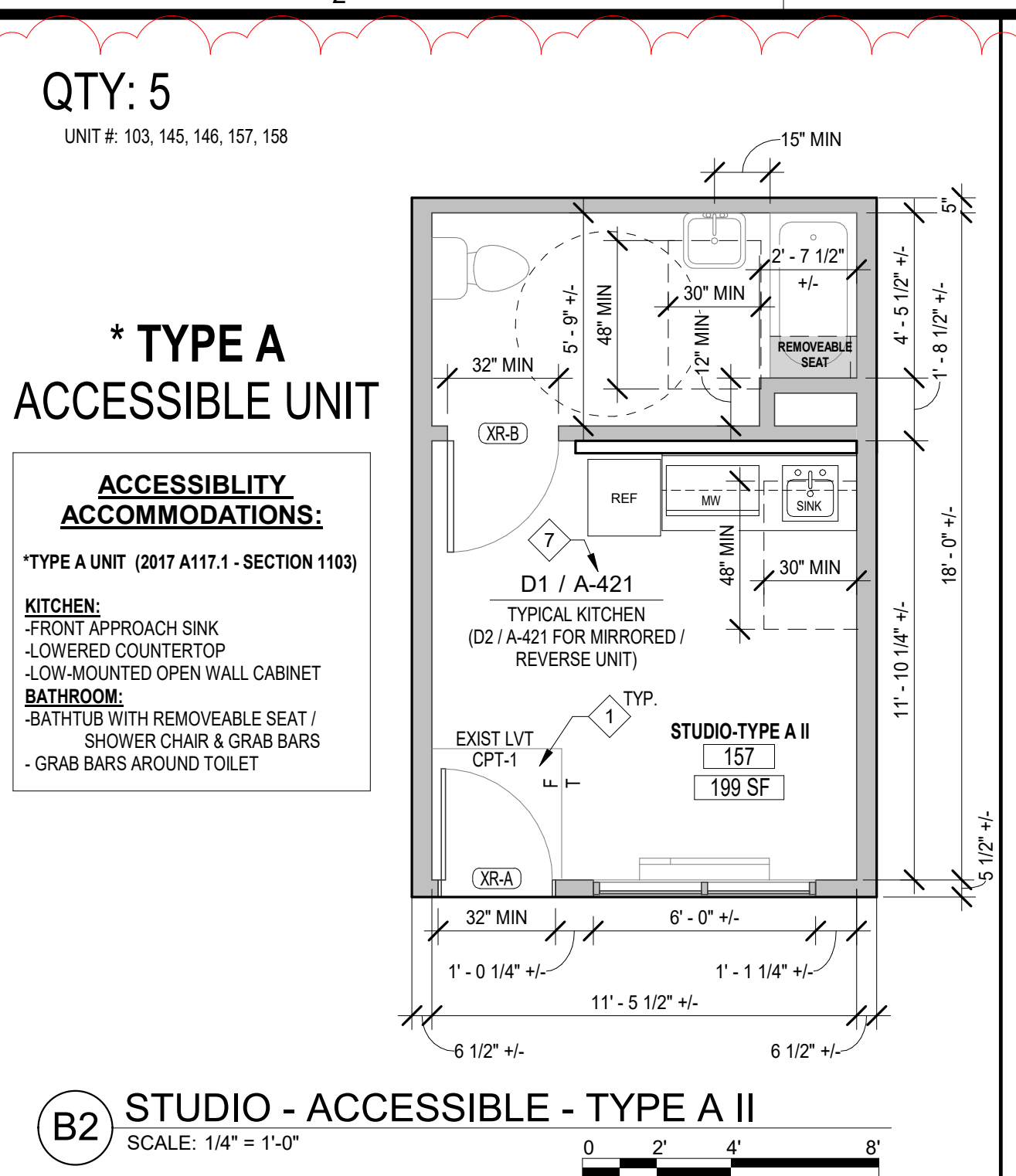
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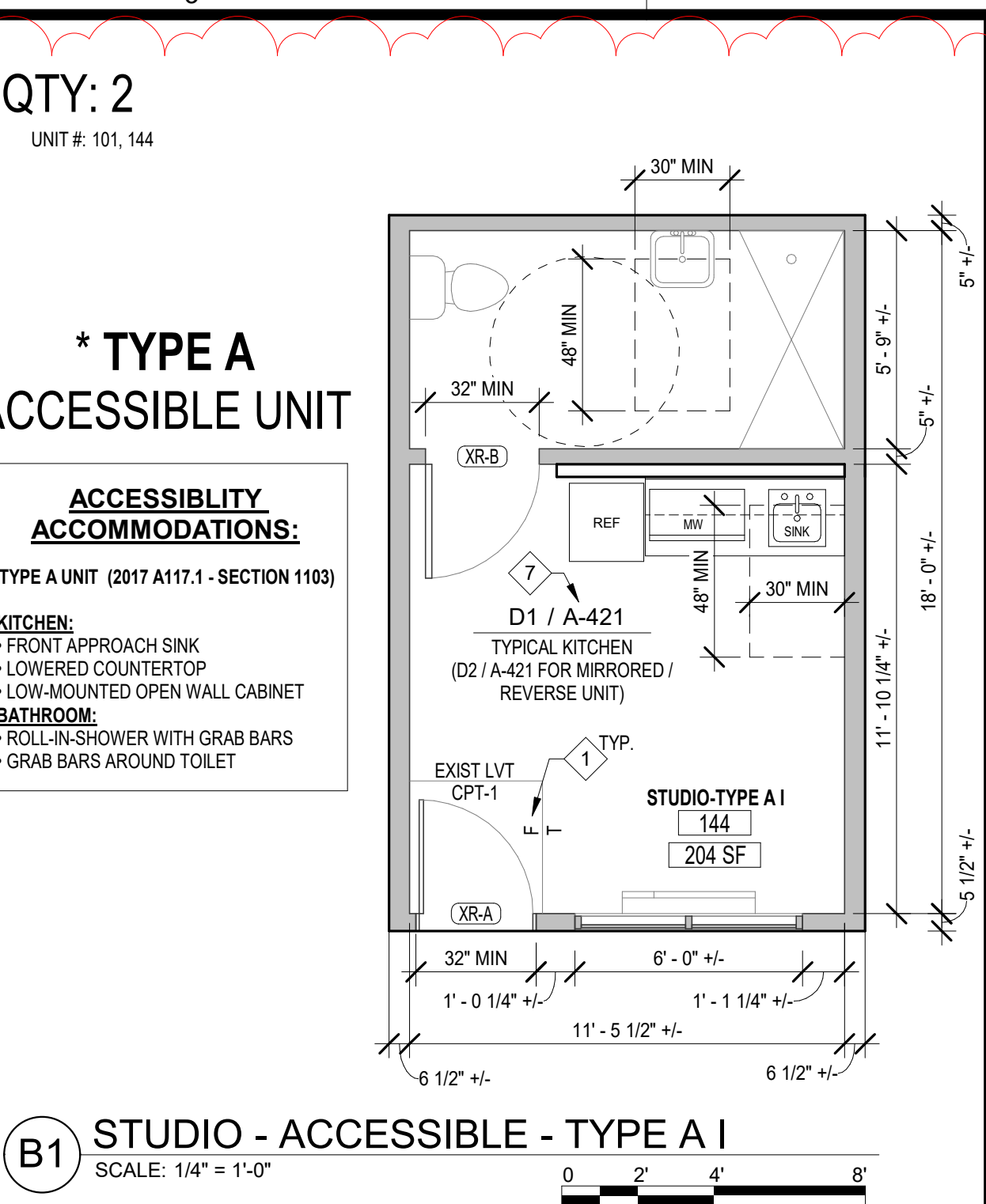




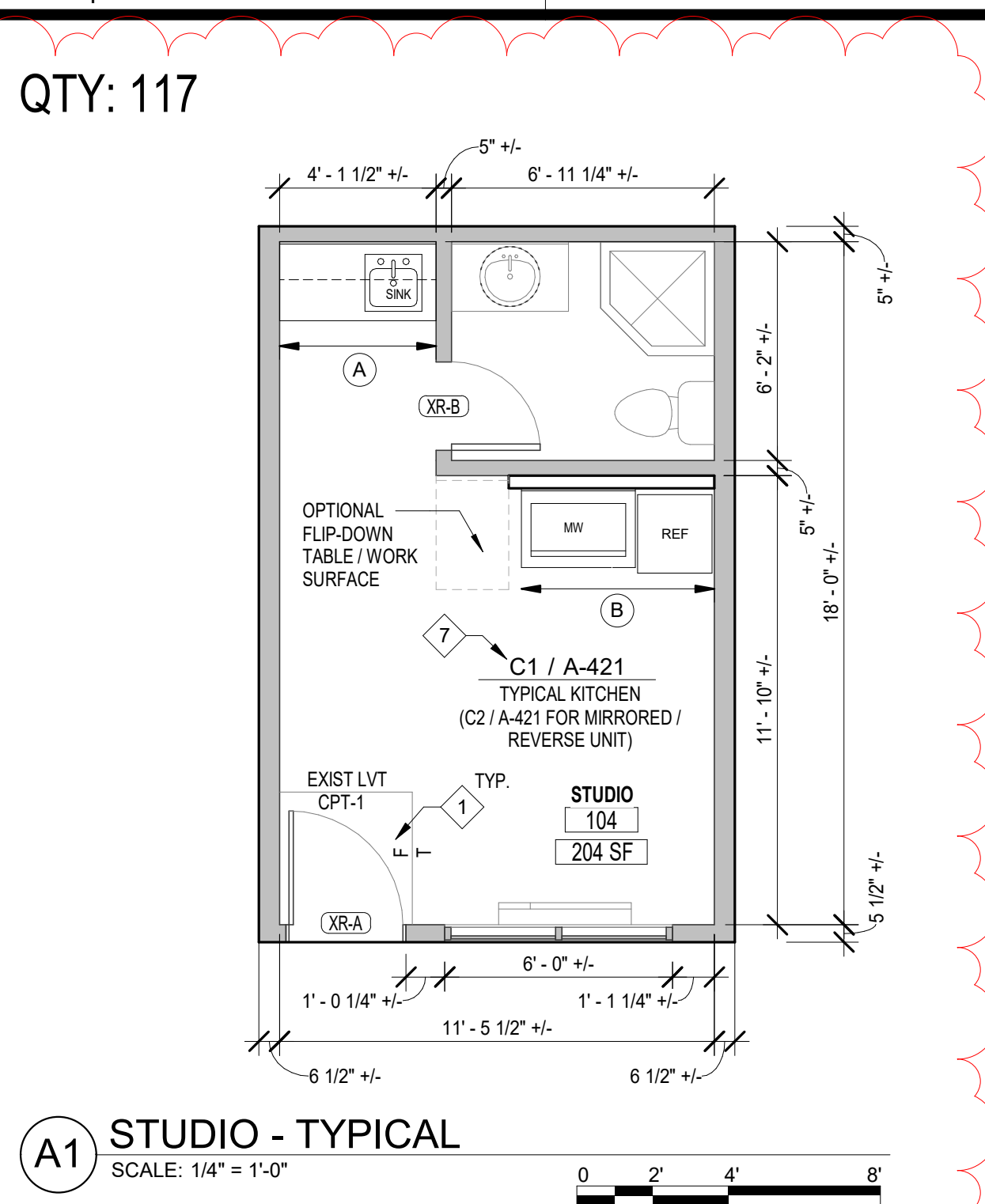
**E1 TYPICAL KITCHEN SECTION**  
SCALE: 3/4" = 1'-0"



**B2 STUDIO - ACCESSIBLE - TYPE A II**  
SCALE: 1/4" = 1'-0"



**B1 STUDIO - ACCESSIBLE - TYPE A I**  
SCALE: 1/4" = 1'-0"



**A1 STUDIO - TYPICAL**  
SCALE: 1/4" = 1'-0"

**UNIT PLAN & KITCHEN NOTES**

- ENLARGED UNIT PLAN NOTES:**
- GENERAL NOTES SHALL BE REFERENCED ON THIS SHEET.
  - ALL ENLARGED UNIT PLANS ARE ORIENTED WITH ENTRY / CORRIDOR FACING BOTTOM OF SHEET, REFER TO OVERALL FLOOR PLANS FOR TRUE NORTH.
  - SHOULD A FULL-HEIGHT CHASE WALL BE NECESSARY BEHIND KITCHEN, REF E1 / A-421 FOR DETAILS.
  - REF FLOOR PLANS FOR KITCHEN ELEVATION DETAIL REFERENCES / LOCATIONS.
  - REF A-121 FOR TYPICAL ENLARGED UNIT RCP'S.
- KITCHEN / CASEWORK NOTES:**
- ALL APARTMENT CASEWORK TO BE MADE OF BIRCH WOOD.
  - ALL CASEWORK TO HAVE SOFT-CLOSE (EUROPEAN) HINGES.
  - ALL CASEWORK TO HAVE 4" PULLS, ALUMINUM. BASIS OF DESIGN: MCKETT DP120.
  - WALL BASE TO RUN ALONG TOE KICK, UNO. REF. FINISH SCHEDULE.
  - ALL SHELVING TO BE 3/4" THICK, UNO.
  - BASE CABINETS SHALL BE A STANDARD DEPTH OF 24". WALL CABINETS / SHELVES SHALL BE A STANDARD DEPTH OF 12".
  - PL-1 LAMINATE COUNTERTOPS, REF FINISH SCHEDULE (A-601) FOR DETAILS.
- ACCESSIBILITY UNIT NOTES:**
- ALL ACCESSIBLE HARDWARE AND ACCESSORIES SHALL COMPLY WITH ACCESSIBILITY STANDARDS DIAGRAM (REF F1 / A-421) AND 2017 AHS A117.1.
  - CONTRACTOR SHALL VERIFY EXISTING CONDITIONS OF ACCESSIBLE UNITS AND VERIFY THAT ALL MOUNTING HEIGHTS, CLEARANCES AND ALL OTHER ITEMIZATIONS OUTLINED ON THESE SHEETS MEET THE MINIMUMS / MAXIMUMS. SHOULD ANYTHING NOT MEET LISTED REQUIREMENTS, CONTACT ARCHITECT TO DOCUMENT AND ADDRESS THE ISSUE. IF AN ISSUE IS FOUND, DO NOT CONTINUE CONSTRUCTION IN THAT UNIT UNTIL NOTIFIED OTHERWISE.
  - APPLIANCES IN ACCESSIBLE UNITS SHALL MEET MINIMUM ACCESSIBILITY STANDARDS.
  - OWNER SHALL PROVIDE A DEVOTED CHAIR / REMOVEABLE SEAT FOR TYPE A ACCESSIBLE UNITS WITH BATHTUBS IN ACCORDANCE WITH 2017 A117.1 - SECTIONS 607.3 & 610.
- PTACS AND APPLIANCES:**
- NEW APPLIANCES AND THEIR SPECS TO BE PROVIDED BY OWNER.
  - NEW PTAC SPECS SHALL BE PROVIDED BY MEP ENGINEER. PTAC DIMENSIONS SHALL MATCH EXISTING ONES AS CLOSELY AS POSSIBLE.
  - APPLIANCES SHALL HAVE DIMENSIONS THAT FIT AND WORK WITH THE CLEARANCES PROVIDED IN ENLARGED FLOOR PLANS AND KITCHEN ELEVATIONS / DETAILS.

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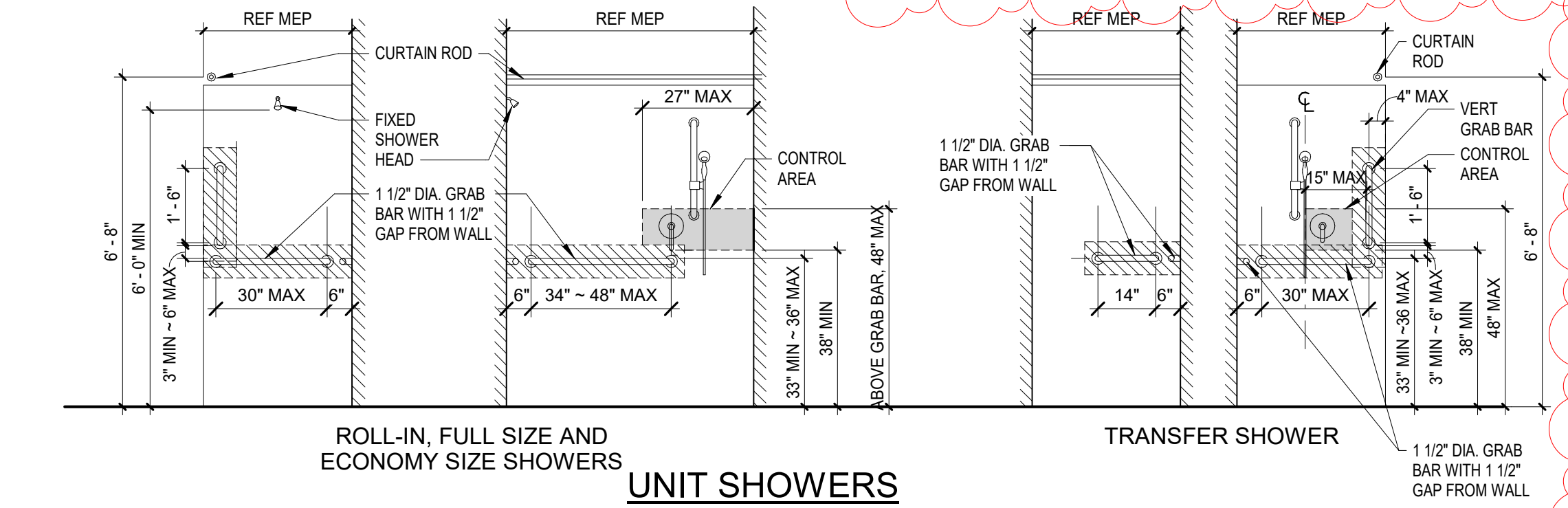
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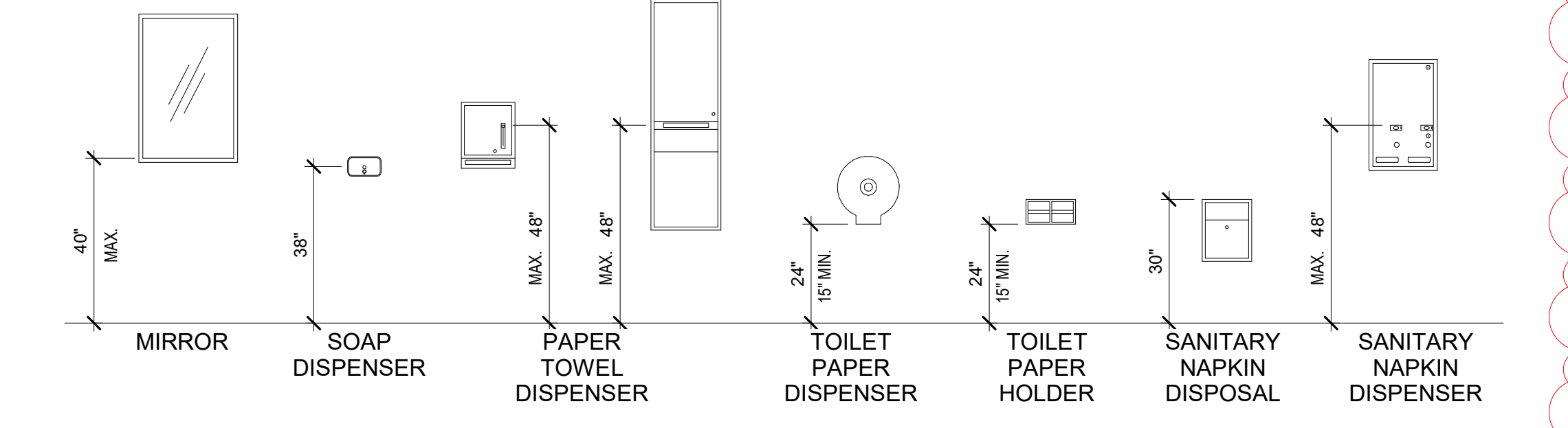
**PROJECT NUMBER**  
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**SHEET TITLE**  
ENLARGED UNIT PLANS & MILLWORK

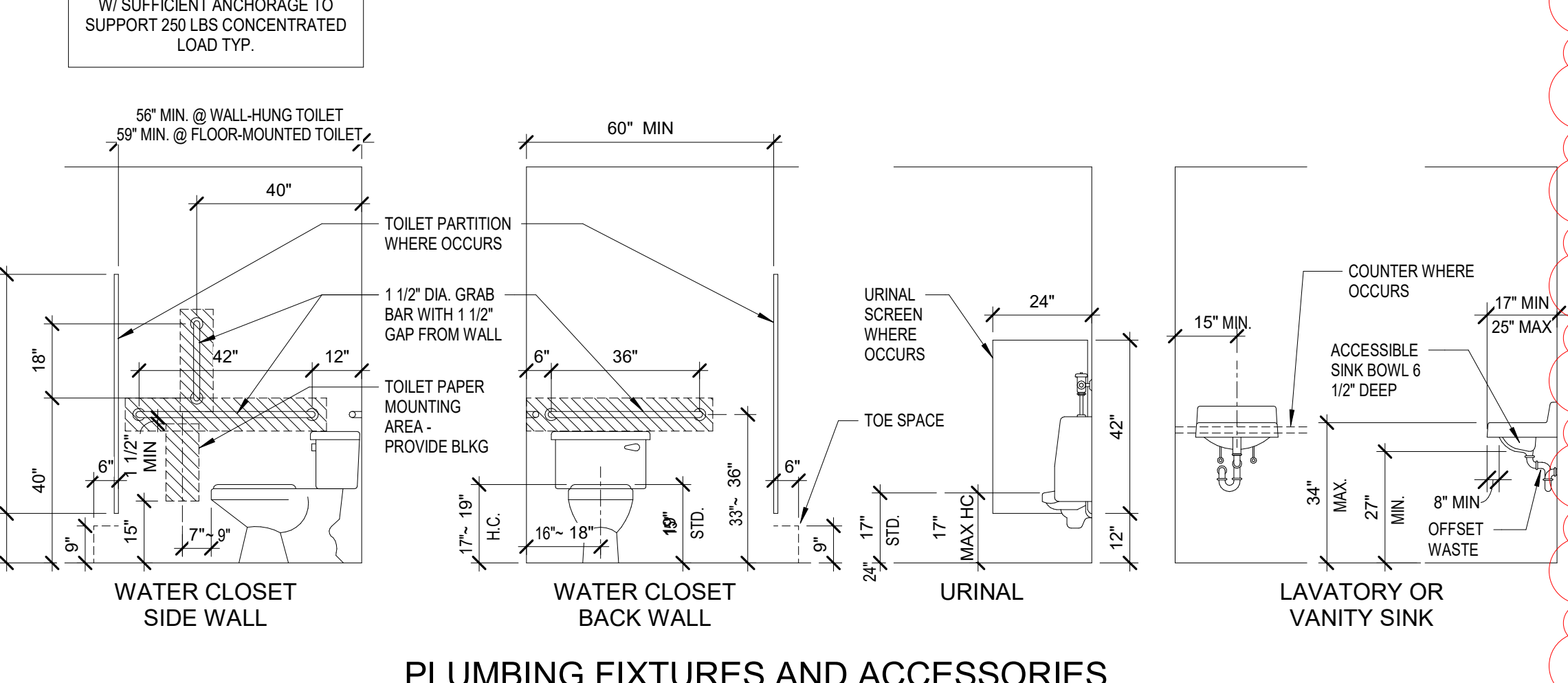
**SHEET NUMBER**  
A-421



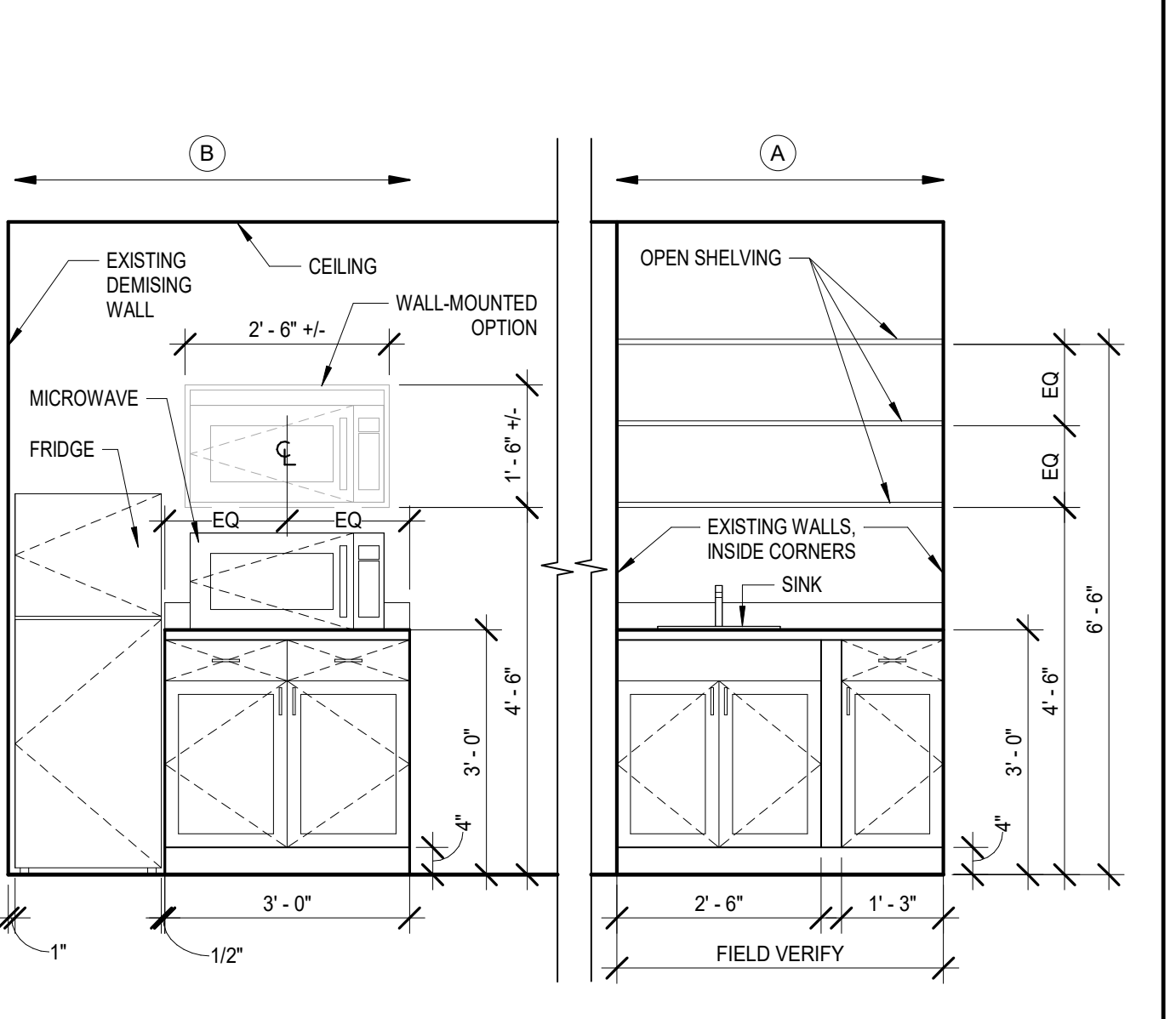
**UNIT SHOWERS**



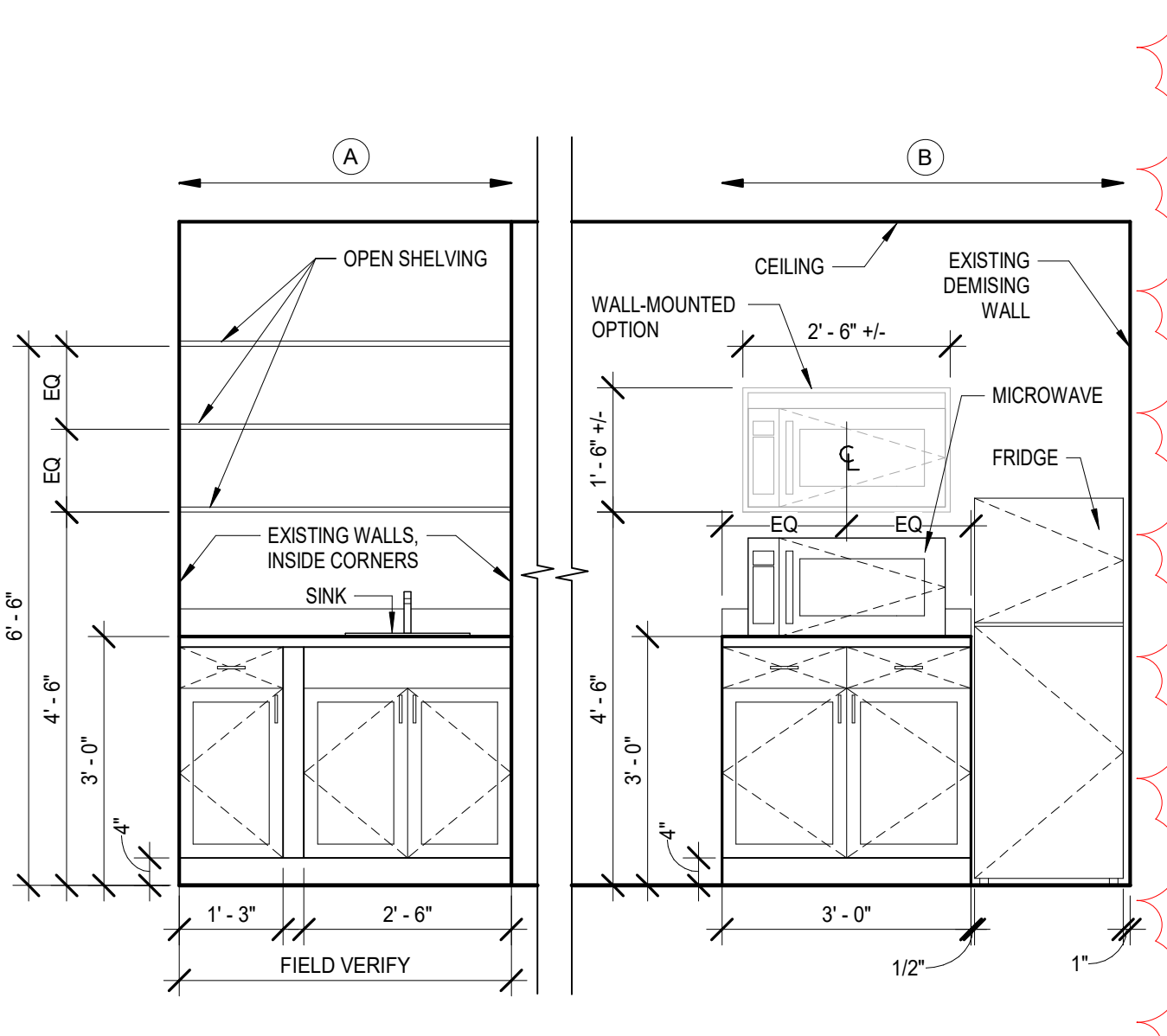
**TOILET ACCESSORIES**



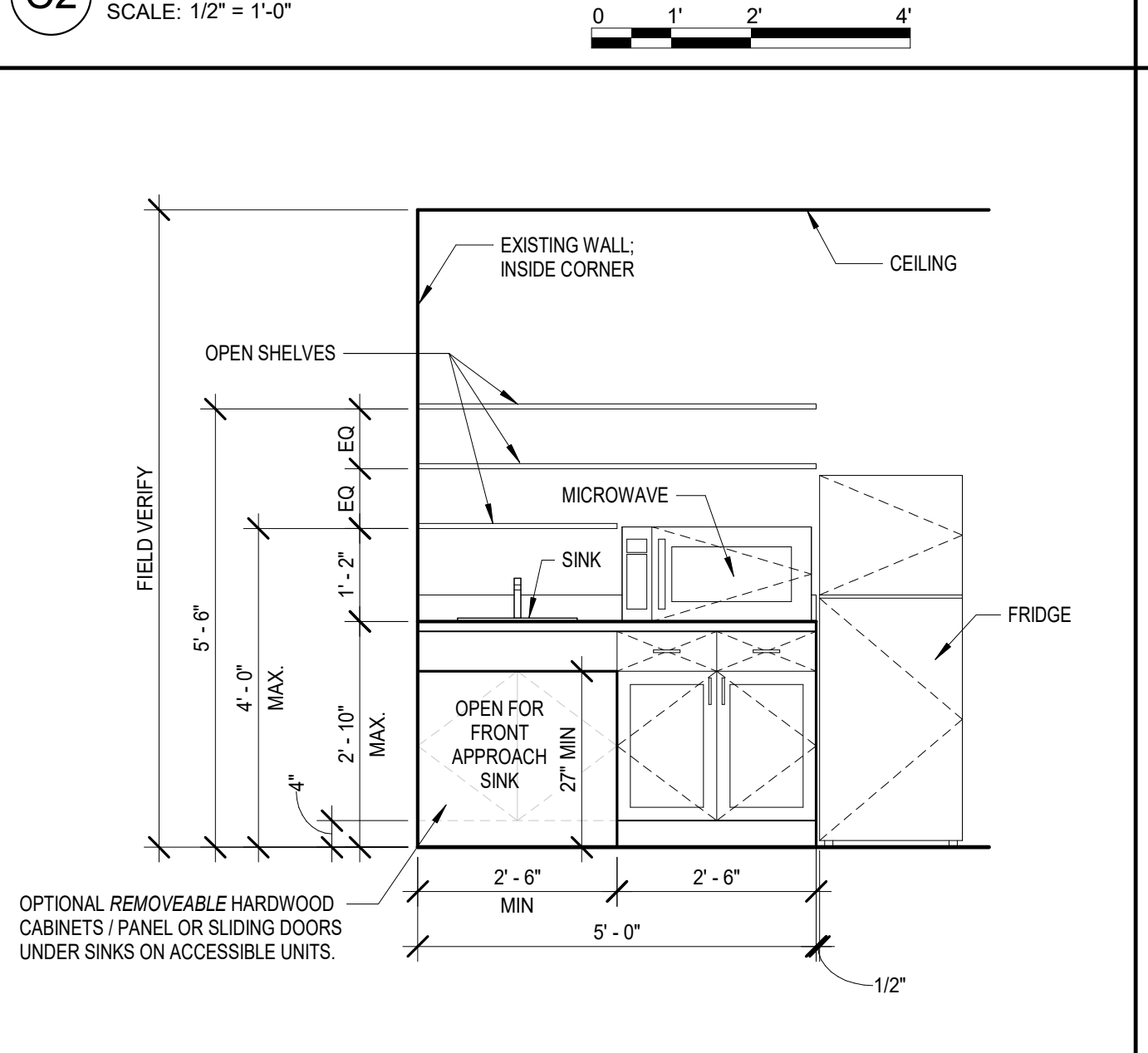
**F1 TYPICAL ACCESSIBILITY STANDARDS**  
SCALE: 3/8" = 1'-0"



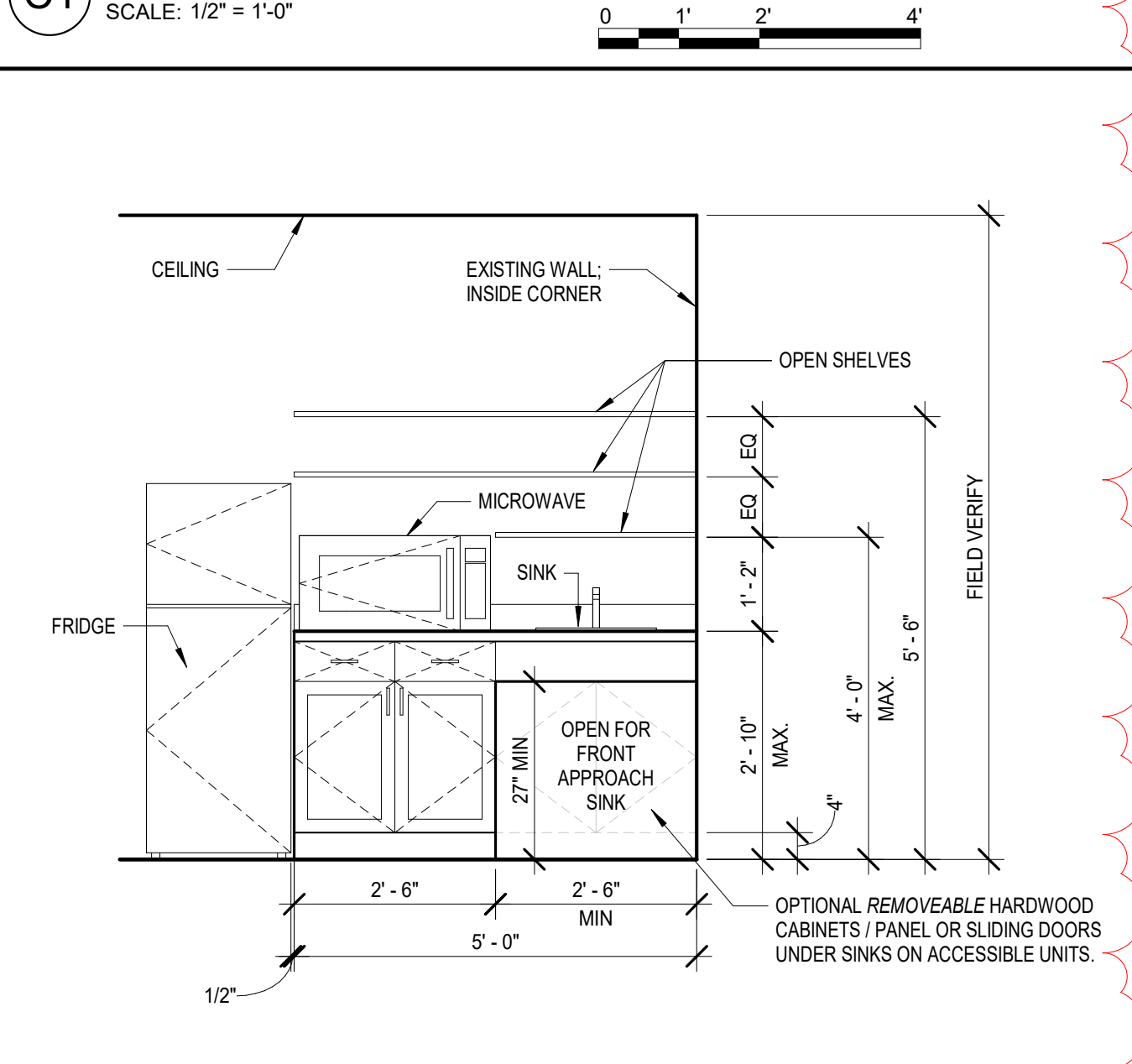
**C2 TYPICAL KITCHEN - LEFT**  
SCALE: 1/2" = 1'-0"



**C1 TYPICAL KITCHEN - RIGHT**  
SCALE: 1/2" = 1'-0"



**D2 ACCESSIBLE KITCHEN - LEFT**  
SCALE: 1/2" = 1'-0"

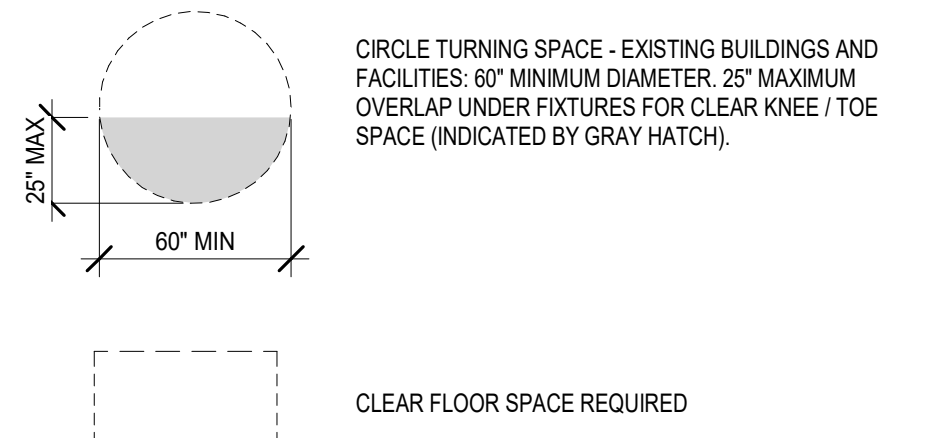


**D1 ACCESSIBLE KITCHEN - RIGHT**  
SCALE: 1/2" = 1'-0"

**KEYED NOTES**

- REMOVE AND REPLACE EXISTING CARPET SQUARE AT ENTRY AND REPLACE RUBBER FLOOR TRANSITION WITH FT-1.
- 6" RAILING EXTENSION TO BE ADDED TO SURROUNDING GUARDRAILS ON 2ND FLOOR (42" MIN FROM FLOOR TO TOP RAIL REQUIRED); REF C2 / A-202 FOR DETAILS. PAINT WITH EP7-4. REF ELEVATIONS FOR COLORS.
- ATTACH / CLIP NEW WIRE MESHING TO EXISTING GUARDRAILS ON THE SECOND FLOOR. REF C2 / A-202 FOR DETAILS.
- NEW FLOATING MESH PANELS, STAGGERED. FINAL LOCATIONS / LAYOUT TO BE DETERMINED BY OWNER. REF A-202 FOR DETAILS.
- REMOVE EXISTING WOOD COLUMN WRAPS AND REPAIR OR REPLACE DAMAGED DOWNSPOUTS. REPLACE COLUMN WRAPS WITH NEW VENEER WD-1. PROVIDE NEW VENEER WD-1 WHERE COLUMN WRAPS DO NOT CURRENTLY EXIST. PAINT WITH EP7.2. REF A-601 FOR FINISH KEY.
- INFILL EXISTING OPENING WITH 2X STAGGERED STUDS AND BOARD ON BOTH SIDES. TAPE, MUD AND SAND PRIOR TO APPLYING PAINT (REF A-601 FOR TYPICAL UNIT PAINT COLOR). INFILL WALL SHALL MATCH ADJACENT IN DEPTH AND FINISH.
- NEW KITCHENETTE: "XX / X-XXX" IN THE FLOOR PLANS (IN PROXIMITY TO THE KITCHEN) INDICATE WHICH KITCHEN ELEVATION DETAIL WILL BE USED IN THAT UNIT. REF A-421 FOR ENLARGED UNIT PLANS AND KITCHEN ELEVATION TYPES.
- ADD ACCESSIBLE GRAB BARS WHERE NECESSARY IF THEY DON'T ALREADY EXIST. FOR EXISTING ONES, VERIFY THEY MEET REQUIREMENTS; REF F1 / A-421 FOR ACCESSIBILITY REQUIREMENTS AND DETAILS.

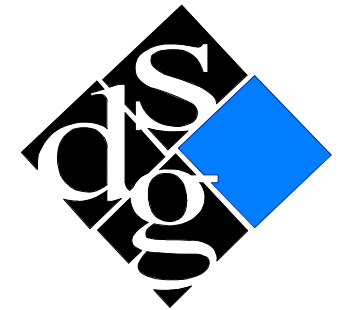
**ACCESSIBILITY LEGEND**



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INTERIOR FINISH SCHEDULE table with columns: ROOM NUMBER, ROOM NAME, FLOOR (FINISH, BASE), WALLS (NORTH, EAST, SOUTH, WEST), CEILING FINISH

TYPICAL UNIT FINISH SCHEDULE table with columns: ROOM NAME, FLOOR (FINISH, BASE), WALLS (NORTH, EAST, SOUTH, WEST), CEILING FINISH

NOTE: REPLACE EXISTING WALL BASE WITH NEW WB-1 IF DAMAGED.

FINISH KEY

FINISH KEY details including TYP. EXTERIOR FINISHES (WOOD, CONCRETE), TYP. INTERIOR FINISHES (PAINT, LUXURY VINYL TILE, WALL BASE, CARPET, FLOOR TRANSITIONS)

DOOR SCHEDULE - EXISTING table with columns: TYPE, FUNCTION, QTY, DOOR PAINT (EXTERIOR/INTERIOR SIDE), FRAME / TRIM PAINT (EXTERIOR/INTERIOR SIDE), DESCRIPTION, HARDWARE SET

HARDWARE SET DESCRIPTIONS
0 EXISTING TO REMAIN
1 STANDARD CYLINDRICAL DEADBOLT LOCKSET WITH INTERCHANGABLE CORE
2 PRIVACY LOCKSET
3 KEYPAD LOCKSET
4 CLASSROOM LOCKSET
5 STANDARD INTERIOR CYLINDRICAL LOCK
6 HANDLES / POCKETS (APPROPRIATE TO TYPE OF DOOR) - NO LOCK REQUIRED

DOOR & HARDWARE NOTES
1. REFER TO EXTERIOR ELEVATIONS (A-201 & A-202) FOR EXTERIOR DOOR PAINT COLORS AND NOTES.
2. REPLACE DOOR THRESHOLDS AND SWEEPS AS NECESSARY; INSTALL NEW DOOR THRESHOLDS AND SWEEPS WHERE THEY CURRENTLY DO NOT EXIST.
3. ALL NEW DOOR HARDWARE PER OWNER SPECIFICATION.
4. PROVIDE SELF-CLOSING HARDWARE FOR UNIT ENTRY DOORS
5. ALL UNIT ENTRY DOORS DOORS MUST HAVE A FIRE-RATING OF AT LEAST 20 MINUTES.
6. ALL DOORS OF ALL ACCESSIBLE UNITS MUST HAVE A CLEAR WIDTH OF AT LEAST 32".
7. ALL NEW HARDWARE ON ACCESSIBLE UNIT DOORS SHALL BE COMPLIANT WITH ACCESSIBILITY / ADA STANDARDS.

GENERAL FINISH NOTES

- 1. REFER TO SHEET G-001 FOR SHEET INDEX
2. ALL NEW FLOOR FINISHES TO TERMINATE AT CENTER OF DOOR FRAME UNLESS NOTED OTHERWISE
3. REFER TO FINISH FLOOR PLANS, REFLECTED CEILING PLANS, ELEVATIONS, AND DETAILS FOR EXTENT OF MULTIPLE FINISHES.
4. DO NOT PAINT ALUMINUM OR OTHER NON-FERROUS METALS THAT ARE PREFINISHED.
5. MATCH VERTICAL FINISH OF ALL INTERIOR GYPSUM BOARD SOFFITS TO HORIZONTAL FINISH AS NOTED ON RCP OR ROOM FINISH SCHEDULE. UNO.
6. FINISH ALL EXPOSED CEILINGS DESIGNATED AS 'OTS' (OPEN TO STRUCTURE) AS INDICATED ON ROOM FINISH SCHEDULE. PAINTING INCLUDES, BUT IS NOT LIMITED TO: EXPOSED STRUCTURE, JOISTS, METAL DECKING, EXISTING TECTUM PANELS, DUCTWORK, CONDUIT, ELECTRICAL BOXES AND MECHANICAL EQUIPMENT.
7. PAINT ALL INTERIOR METAL DOOR FRAMES COLOR TO MATCH EXISTING TRIM PAINT COLOR.
8. PAINT OR FINISH THE FOLLOWING ITEMS TO MATCH ADJACENT PAINT OR FINISH:
A. ELECTRICAL PANELS IN FINISHED ROOMS
B. GRILLES, LOUVERS ETC. PRIMED OR SPECIFIED TO BE PAINTED
C. UNFINISHED SPEAKER OUTLET GRILLES
D. VISIBLE PORTIONS OF DUCTWORK AND MECH EQUIPMENT BEHIND VENTS, GRILLES AND DIFFUSERS
9. NEW FINISH FLOOR PATTERNS TO BE CENTERED IN EACH ROOM AND PARALLEL TO THE LONGEST WALL UNO
10. CORNER GUARDS ARE TO BE INSTALLED AT ALL OUTSIDE CORNERS OF ALL PARTITIONS AND ARE TO BE FULL HEIGHT FROM TOP OF BASE.
11. COORDINATE FLOORING INSTALLATION WITH CASEWORK TO ENSURE FLOORING EXTENDS UNDER ALL CASEWORK, IF APPLICABLE
12. ALL CLOSETS AND ALCOVES WITHOUT SEPARATE ROOM NUMBERS TO HAVE SAME FLOORING AND PATTERNS AS THE LARGER, IDENTIFIED ROOM, IF APPLICABLE
13. NOT ALL FLOORING MATERIALS SHOWN ON FINISH PLANS, REFER TO FINISH SCHEDULE FOR MATERIALS IN LOCATIONS NOT SHOWN
14. ALL BRICK TO REMAIN AS EXISTING. DO NOT PAINT.
15. TOWER CORRIDOR CEILINGS TO REMAIN AS EXISTING. REPAINT SECTIONS AS NECESSARY WITH MATCHING PAINT COLOR.
16. ALL TILE TO REMAIN EXISTING IN UNIT RESTROOMS TO BE CLEANED AND RE-GROUTED WHERE NECESSARY.

REF SHEET A-421 FOR UNIT NAMES, ENLARGED FLOOR PLANS & FLOOR CHANGE LOCATIONS (IF APPLICABLE)

NOTE: OWNER TO DETERMINE FINISH COLOR PALETTE. REF FINISH PALETTE OPTIONS. GC TO COORDINATE & CONFIRM WITH OWNER.

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PROJECT NUMBER
220116

SHEET TITLE
INTERIOR FINISH & DOOR SCHEDULES

SHEET NUMBER
A-601